



**CITY OF FOWLER  
COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT  
DEVELOPMENT REVIEW COMMITTEE  
AGENDA  
WEDNESDAY, JANUARY 22, 2025  
4:00 P.M.  
CITY COUNCIL CHAMBER  
128 SOUTH 5TH STREET  
FOWLER, CA 93625**

In compliance with the Americans with Disabilities Act, if you need assistance or accommodations to access the City Council Chambers or participate in this meeting, please contact the City Planner at (559) 834-3113 x122. Notification at least 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility.

Development Review Committee meetings are open to the public at the physical address listed above. There are numerous ways to participate in the Development Review Committee meetings: you may attend in person, or you may submit written comments via email to [dmarple@ppeng.com](mailto:dmarple@ppeng.com). Please include your name and reference the agenda item you are commenting on, if any. Written comments received that do not specify an agenda item will be marked for the general public comment portion of the agenda. Emails received by 8:00 am on the date of the meeting will be provided to the Development Review Committee at the meeting and made part of the record of proceedings but will not be read aloud.

En cumplimiento con la Acta de Americanos con Discapacidades si necesita asistencia o adaptaciones para acceder a las Cámaras del Concejo de la Ciudad o participar en esta reunión, comuníquese con el secretario de la ciudad al (559) 834-3113 x102. También puede ponerse en contacto con el secretario si necesita servicios de traducción. La notificación al menos 48 horas antes de la reunión permitirá a la Ciudad hacer arreglos razonables para garantizar la accesibilidad

1. Meeting Called to Order
2. Roll Call
3. Public Comment

*This portion of the meeting is reserved for persons desiring to address the Committee on any matter not described on this agenda. Presentations are limited to 5 minutes per person and no more than 15 minutes per topic.*

4. Continued Matters
5. New Matters

5-A. REVIEW – Fowler Improvement Association – South side of 5<sup>th</sup> Street, between E. Merced Street and E. Main Street (Site Plan Review 24-39)

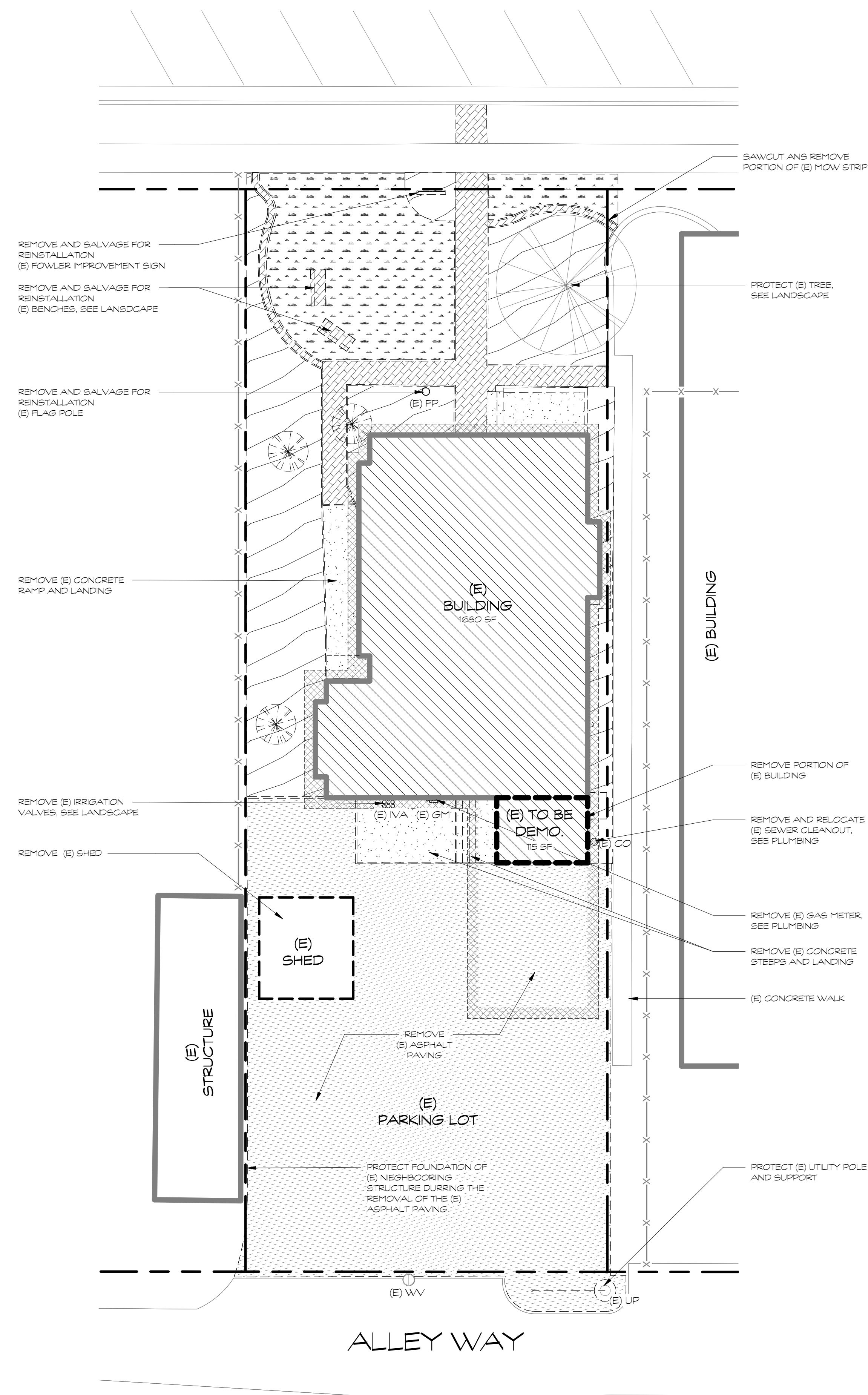
6. Adjourn

*CERTIFICATION: I, Dawn Marple, City Planner of the City of Fowler, California, hereby certify that the foregoing agenda was posted for public review on January 17, 2025.*

*Dawn Marple*

*Dawn Marple  
City Planner*

5TH STREET



GENERAL NOTES

- A. ITEMS SHOWN BUT NOT NOTED ARE TO BE CONSIDERED EXISTING TO REMAIN, TYP., U.N.C.
- B. REFER TO CIVIL, LANDSCAPE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS TO VERIFY THE EXTENT OF THE DEMOLITION REQUIRED IN PREPARING FOR THE SITE DEVELOPMENT SCOPE OF WORK.
- C. REFER TO TOPOGRAPHIC AND SITE UTILITY SURVEYS FOR ADDITIONAL INFORMATION.
- D. SEE ENLARGED SITE PLANS ON \_\_\_\_\_ FOR DIMENSIONS AND MORE INFORMATION.
- E. CONTRACTOR AT ITS OWN EXPENSE SHALL REPAIR ALL DAMAGED ITEMS AND MATERIALS CAUSED BY ITS OWN FORCES DURING CONSTRUCTION. ALL DAMAGED AREAS SHALL BE DOCUMENTED AND SUBMITTED TO THE ARCHITECT FOR REVIEW.

PH

PAUL HALAJIAN ARCHITECTS

389 Clovis Ave, Suite 100  
Clovis, CA 93612-1185  
T: 559.297.7900 F: 559.297.7950  
www.halajianarch.com



PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.

DEMOLITION SITE PLAN LEGEND

SYMBOLS

- EXISTING
- == DEMOLISHED/ REMOVED
- X—X—X—X (E) FENCE
- - - - - PROPERTY LINE
- (E) TREE
- (E) TREE TO BE REMOVED, SEE LANDSCAPE
- (E) BUILDING NOT INCLUDED IN PROJECT
- (E) BUILDING INCLUDED IN PROJECT
- (E) PORTION OF BUILDING TO BE REMOVED
- (E) ASPHALT PAVING TO BE REMOVED, SEE CIVIL TYP.
- (E) CONCRETE WALK/ MOWSTRIP, TO BE REMOVED, SEE CIVIL TYP.
- (E) BRICK PAVING, TO BE REMOVED, SEE CIVIL TYP.
- APPROXIMATE EXTENTS OF OVER-EXCAVATION
- PREP (E) TURF AREA FOR NEW SITE WORK, REFER TO LANDSCAPE
- OVER EXCAVATE FOR FOUNDATION, REFER TO CIVIL AND STRUCTURAL
- ? KEYNOTE TAG, SEE LEGEND ABOVE

ABBREVIATION

|      |                 |     |                     |
|------|-----------------|-----|---------------------|
| (E)  | EXISTING        | PL  | PLANTER             |
| CONC | CONCRETE        | IVA | IRRIGATION VALVE    |
| MAX  | MAXIMUM         | CO  | CLEAN OUT           |
| MIN  | MINIMUM         | WV  | WATER VALVE         |
| EQ   | EQUAL           | TR  | TRANSFORMER         |
| TYP  | TYPICAL         | EPB | ELECTRICAL PULL BOX |
| CLR  | CLEAR           | EVA | ELECTRICAL VAULT    |
| FP   | FLAG POLE       | LP  | LIGHT POST          |
| CJ   | CONTROL JOINT   | UP  | UTILITY POLE        |
| EJ   | EXPANSION JOINT | GM  | GAS METER           |

FWLER IMPROVEMENT ASSOCIATION REMODEL

FWLER IMPROVEMENT ASSOCIATION  
110 S 5th St, Fowler, CA 93625

SHEET: PROPOSED DEMOLITION SITE PLAN

DRAWING SET INFORMATION:

|           |                  |
|-----------|------------------|
| 11/1/2024 | SITE PLAN REVIEW |
|-----------|------------------|

REVISIONS:

|  |  |
|--|--|
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |

PROJECT NUMBER:

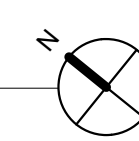
2022-50

SHEET NUMBER:

A100

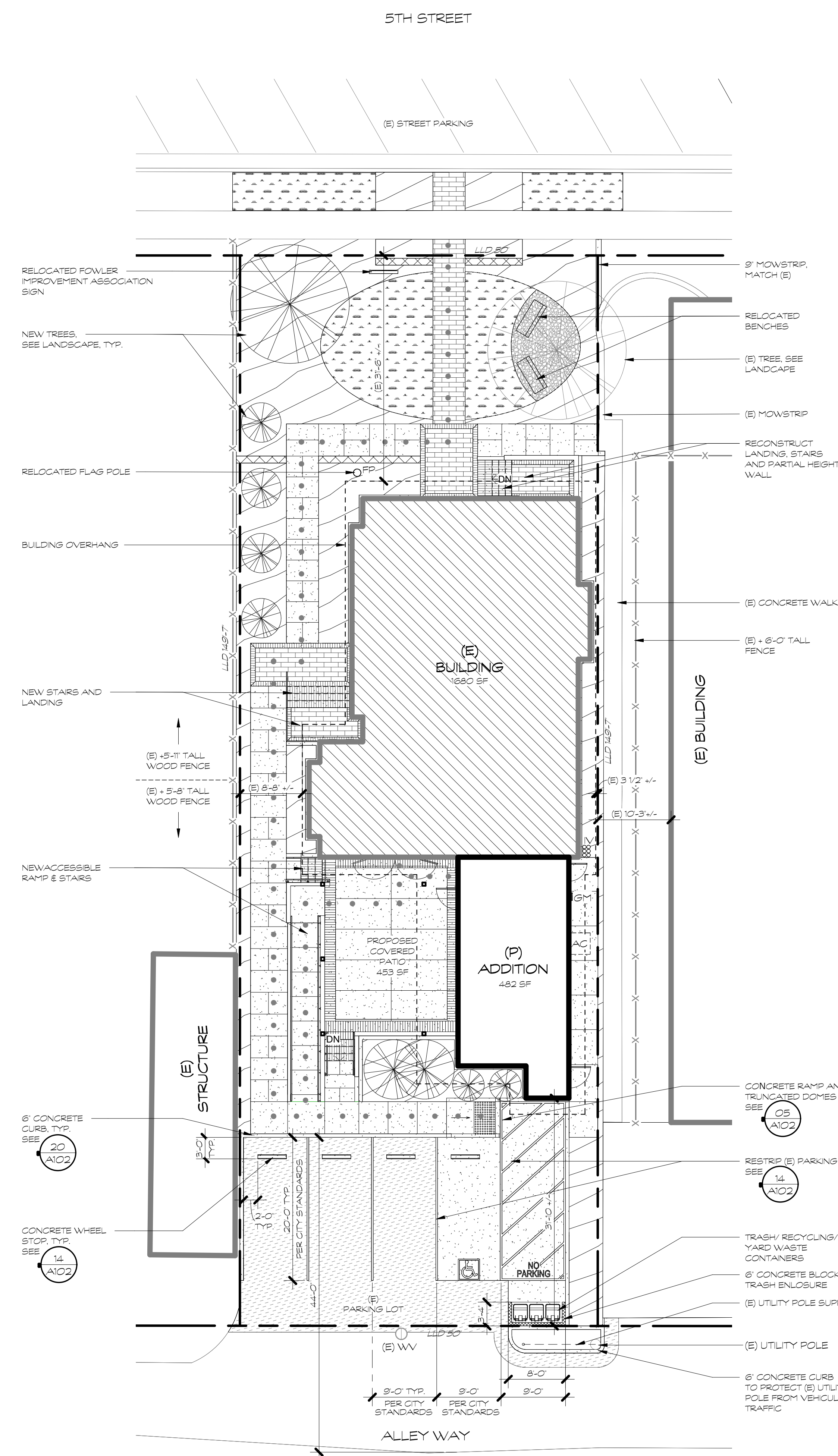
PRINT DATE: 11/11/2024 2:46:30 PM

1 PROPOSED DEMOLITION SITE PLAN  
1" = 10'-0"



BUILDING INFORMATION TABLE

| BLDG.                  | OCC. CLASS. | OCC. GROUP | CONSTRUCTION TYPE | ALLOWABLE BUILDING HEIGHT | ACTUAL BUILDING HEIGHT | TABULAR ALLOWABLE AREA FACTOR CBC TABLE 506.2 | FRONTAGE AREA INCREASE FACTOR 141 CBC 506.3.3 | ALLOWABLE AREA FIRE SPRINKLERED A <sub>1</sub> x I <sub>1</sub> INCREASE (I <sub>1</sub> = 0-NA,2,3) CBC 506.3 | TOTAL ALLOWABLE BUILDING AREA A <sub>1</sub> = (A <sub>1</sub> x I <sub>1</sub> ) CBC 506.2 | ACTUAL BUILDING AREA (FLOOR AREA + COVERED AREA)                     | FIRE FLOW AND DURATION CFC, APPENDIX BB GALS/MIN - HOURS | APPLICABLE BUILDING CODE | REMARKS                                       |
|------------------------|-------------|------------|-------------------|---------------------------|------------------------|---|---|--|---|--|--|--------------------------|---|
| EXISTING               | BUSINESS    | B          | TYPE V-B          | 40'-0"                    | 1 - STORY 22'-0"       | 9,000 SF                                      | -   | -  | -   | FLOOR 1,680 SF<br>COVERED 324 SF<br>SUB-TOTAL 2,004 SF               | NON-SPRINKLERED  | 2022 CBC                 | (E) BUILDING WITH PROPOSED ADDITION           |
| PROPOSED ADDITION      | BUSINESS    | B          | TYPE V-B          | 40'-0"                    | 1 - STORY 16'-8"       | 9,000 SF                                      | -   | -  | -   | FLOOR 480 SF<br>COVERED 310 SF<br>PATIO 365 SF<br>SUB-TOTAL 1,155 SF | NON-SPRINKLERED  |                          | LANDMARK ON FRESNO COUNTY HISTORICAL REGISTRY |
| <b>BUILDING TOTAL:</b> |             |            |                   |                           |                        |   |   |  |   | <b>3,159 SF</b>  |  |                          |   |



1 PROPOSED SITE PLAN  
1" = 10'-0"

GENERAL SITE INFORMATION

ADDRESS: 10 S 5TH ST, FOWLER, CA 93625  
 APN: 0  
 CURRENT ZONING / USE: FBC - COMMUNITY COMMERCIAL

SITE SUMMARY TABLE

|                |            |
|----------------|------------|
| SITE AREA:     | 0.17 ACRES |
| BUILDING AREA: |            |
| EXISTING:      | 1,680 SF   |
| PROPOSED:      | 482 SF     |
| TOTAL:         | 2,162 SF   |

**PARKING REQUIREMENT (PER CITY OF FOWLER 9-5.2002):**  
**EXISTING BUILDING:**  
 PER CITY OF FOWLER 9-5.2010: WHERE AN EXISTING USE IS EXPANDED, THE PARKING REQUIREMENTS OF THIS ARTICLE SHALL APPLY ONLY TO THE ADDITION. NO EXISTING USE SHALL BE DEEMED TO BE NONCONFORMING SOLELY BECAUSE OF THE LACK OF OFF-STREET PARKING OR LOADING FACILITIES, PROVIDED, HOWEVER, THAT FACILITIES BEING USED FOR OFF-STREET PARKING AND LOADING AT THE TIME OF THE ADOPTION OF THIS ORDINANCE SHALL NOT BE REDUCED TO LESS THAN THE NUMBER OF SPACES OR REDUCED TO LESS THAN THE MINIMUM STANDARDS PRESCRIBED IN THIS CHAPTER.

|                                   |                     |
|-----------------------------------|---------------------|
| <b>TOTAL REQUIRED</b>             | <b>0 STALLS</b>     |
| <b>ADDITION:</b>                  |                     |
| KITCHEN:                          |                     |
| 1 PER 200 SQ. FT. OF FLOOR AREA   | 3 STALLS            |
| 482 SF / 200 =                    |                     |
| <b>TOTAL REQUIRED</b>             | <b>3 STALLS</b>     |
| <b>TOTAL STALLS REQUIRED:</b>     | <b>3 STALLS</b>     |
| EXISTING STANDARD SPACES:         | 2 UNSTRIPPED STALLS |
| EXISTING ACCESSIBLE SPACES:       | 1 UNSTRIPPED STALL  |
| <b>TOTAL (E) SPACES PROVIDED:</b> | <b>3 STALLS</b>     |

**ACCESSIBLE PARKING REQUIREMENT (PER CBC TABLE 11B-206.2):**  
 THE TOTAL LOT COUNT OF 3 STALLS FALLS IN THE CATEGORY OF 1 TO 25. THEREFOR 1 ACCESSIBLE SPACES ARE REQUIRED

|                       |          |
|-----------------------|----------|
| STANDARD STALLS:      | 2 STALLS |
| ACCESSIBLE STALLS:    | 1 STALLS |
| VAN ACCESSIBLE SPACE: | 1 SPACES |

**EV SPACES (PER CAL GREEN TABLE 5106.5.2):**  
 FUTURE EV STALLS PROPOSED REQUIRED: 0 STALLS  
 CLEAN AIR VAN POOL/EV PROPOSED STALLS: 0 STALLS  
 NO VEHICULAR PARKING SPACES ADDED

**BICYCLE STORAGE (PER CAL GREEN CODE 2022, SECTION 5106.4.11 & 5106.4.13):**  
 SHORT TERM BICYCLE REQUIRED: 0  
 LONG TERM BICYCLE PROVIDED: 0  
 NO VEHICULAR PARKING SPACES ADDED

GENERAL NOTES

- ITEMS SHOWN BUT NOT NOTED ARE TO BE CONSIDERED EXISTING TO REMAIN, TYP., U.N.O.
- REFER TO CIVIL, LANDSCAPE, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS TO VERIFY THE EXTENT OF THE DEMOLITION REQUIRED IN PREPARING FOR THE SITE DEVELOPMENT SCOPE OF WORK.
- REFER TO TOPOGRAPHIC AND SITE UTILITY SURVEYS FOR ADDITIONAL INFORMATION.
- CONTRACTOR AT ITS OWN EXPENSE SHALL REPAIR ALL DAMAGED ITEMS AND MATERIALS CAUSED BY ITS OWN FORCES DURING CONSTRUCTION. ALL DAMAGED AREAS SHALL BE DOCUMENTED AND SUBMITTED TO THE ARCHITECT FOR REVIEW.
- ALL PROPOSED EXTERIOR LIGHTING SHALL BE SHIELDED TO REDUCE OR ELIMINATE LIGHT POLLUTION IN COMPLIANCE WITH APPLICABLE CODES.
- UTILITIES NOT SHOWN HERE FOR CLARITY. SEE CIVIL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- SEE ENLARGED SITE PLANS ON [ ] FOR DIMENSIONS AND MORE INFORMATION.

SITE PLAN LEGEND

| SYMBOLS                                 |   |
|---|---|
| —                                       | EXISTING  |
| X—X—X—X                                 | FENCE   |
| (Tree symbol)                           | TREE, SEE LANDSCAPE                                       |
| - - - - -                               | PROPERTY LINE   |
| LLD #                                   | LOT LINE DIMENSIONS                                       |
| (Masonry wall symbol)                   | MASONRY SITE WALL, 32" TALL, SEE LANDSCAPE AND STRUCTURAL |
| (Building addition symbol)              | BUILDING ADDITION   |
| (Existing building symbol)              | EXISTING BUILDING INCLUDED IN PROJECT                     |
| (Existing building not included symbol) | EXISTING BUILDING NOT INCLUDED IN PROJECT                 |
| (Asphalt paving symbol)                 | ASPHALT PAVING, TYP., SEE CIVIL                           |
| (Concrete paving symbol)                | CONCRETE PAVING, TYP., SEE CIVIL                          |
| (Concrete paving soldier course symbol) | CONCRETE PAVING, SOLDIER COURSE SCORE PATTERN, SEE CIVIL  |
| (Concrete paving running bond symbol)   | CONCRETE PAVING, RUNNING BOND SCORE PATTERN, SEE CIVIL    |
| (Planter symbol)                        | PLANTER, TYP., SEE LANDSCAPE                              |
| (Grass symbol)                          | GRASS, TYP., SEE LANDSCAPE                                |
| (Crushed rock symbol)                   | CRUSHED ROCK, TYP., SEE LANDSCAPE                         |
| (Keynote tag symbol)                    | KEYNOTE TAG, SEE LEGEND ABOVE                             |

| ABBREVIATION |                 |     |                                       |
|--------------|-----------------|-----|---------------------------------------|
| (E)          | EXISTING        | VA  | IRRIGATION VALVE                      |
| CONC         | CONCRETE        | CO  | CLEAN OUT                             |
| MAX          | MAXIMUM         | WV  | WATER VALVE                           |
| MIN          | MINIMUM         | TR  | TRANSFORMER                           |
| EQ           | EQUAL           | EPB | ELECTRICAL PULL BOX                   |
| TYP          | TYPICAL         | EVA | ELECTRICAL VAULT                      |
| CLR          | CLEAR           | LP  | LIGHT POST                            |
| FP           | FLAG POLE       | PP  | POWER POLE                            |
| CJ           | CONTROL JOINT   | GM  | GAS METER                             |
| EJ           | EXPANSION JOINT | ACC | AIR CONDITIONING SPLIT UNIT CONDENSER |
| PL           | PLANTER         | MC  | ICE MAKER CONDENSER                   |

**PH**  
**PAUL HALAJIAN ARCHITECTS**  
 389 Clovis Ave, Suite 100  
 Clovis, CA 93612-1185  
 T: 559.297.7900 F: 559.297.7950  
 www.halajianarch.com



PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.

**FOWLER IMPROVEMENT ASSOCIATION REMODEL**  
**FOWLER IMPROVEMENT ASSOCIATION**  
 110 S 5th St, Fowler, CA 93625  
**SHEET: PROPOSED SITE PLAN**

**DRAWING SET INFORMATION:**

|           |                  |
|-----------|------------------|
| 11/1/2024 | SITE PLAN REVIEW |
|-----------|------------------|

**REVISIONS:**

|  |  |
|--|--|
|  |  |
|  |  |
|  |  |
|  |  |

**PROJECT NUMBER:** 2022-50  
**SHEET NUMBER:** A101



PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.

**FOR REFERENCE ONLY**

**FOWLER IMPROVEMENT ASSOCIATION**

**REMODEL**

**FOWLER IMPROVEMENT ASSOCIATION**

110 S 5th St, Fowler, CA 93625

**SHEET: DEMOLITION FLOOR PLAN**

**DEMOLITION SCOPE:**

**EXTERIOR SCOPE:**

1. REMOVE ALL (E) WOOD SINGLE SIDING AND UNDERLAYMENT DOWN TO STUD. REMOVE EXISTING INSULATION.
2. REMOVE ALL (E) MECHANICAL & PLUMBING EQUIPMENT, FIXTURES AND ACCESSORIES.
3. REMOVE ALL ELECTRICAL OUTLETS, PANELS AND ACCESSORIES.
4. ALL EXTERIOR LIGHT FIXTURE TO BE REMOVED.

**EXTERIOR ALTERNATE:**

1. PROVIDE A COST FOR REMOVAL AND REPLACEMENT OF ALL (E) VINYL WINDOWS WITH WOOD WINDOWS.

**INTERIOR SCOPE:**

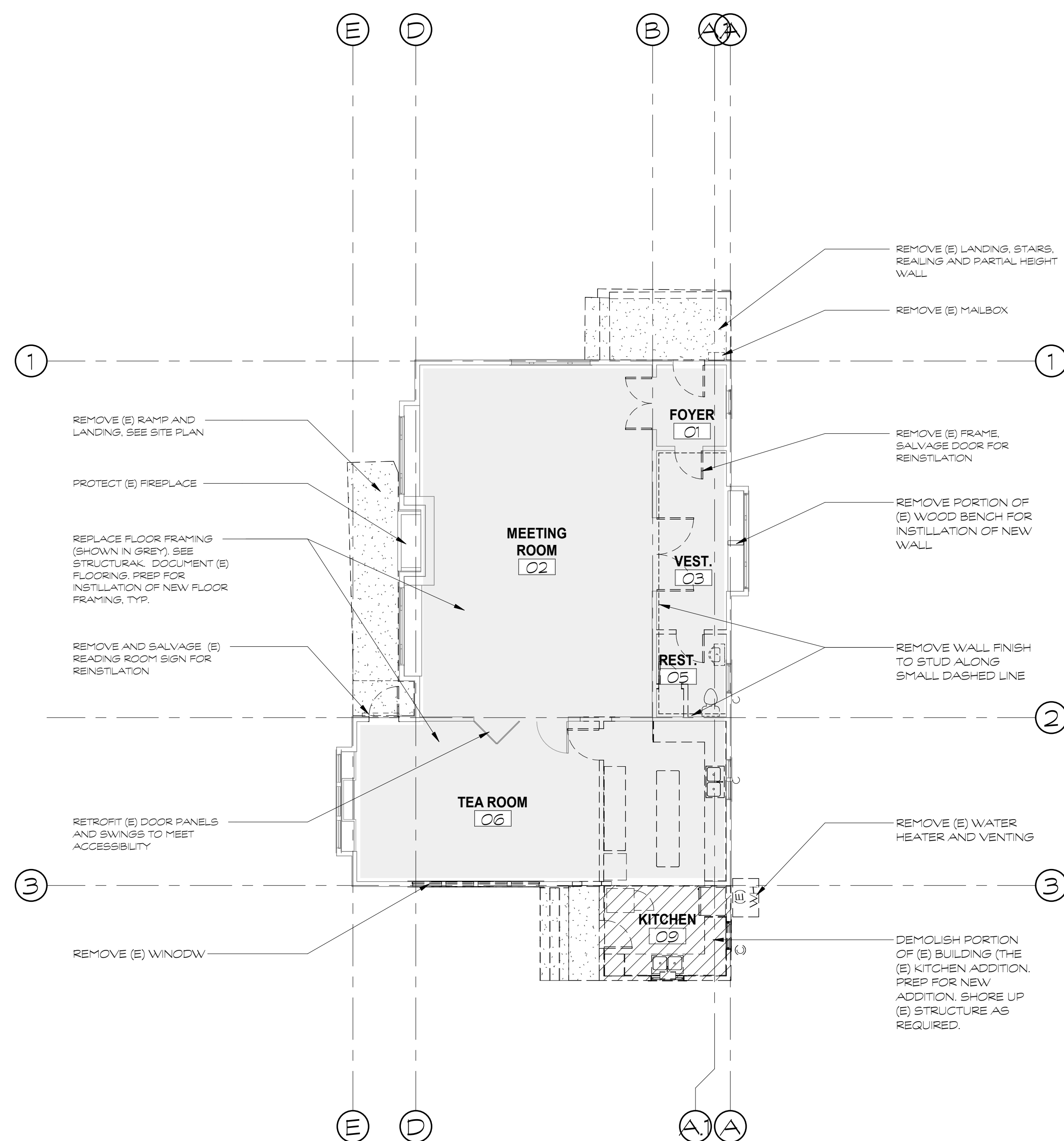
1. REMOVE ALL (E) MECHANICAL & PLUMBING FIXTURES, ALL PIPING, DUCTING AND ETC. TO BE REPLACE.
2. ALL ELECTRICAL WIRING, WIRE MOLD, OUTLETS/ FIXTURES TO BE REMOVED AND REPLACE U.N.O. SEE REFLECTED CEILING PLAN FOR INTERIOR LIGHTING.
3. ALL KITCHEN EQUIPMENT, CABINETES AND ETC. TO BE REMOVED. CONTRACTOR TO CONFIRM AND COORDINATE WITH OWNER IF ANY ITEMS ARE TO BE SALVAGED.
4. KITCHEN - REMOVE (E) WALL FINISHES TO STUD.
5. PROTECT (E) MILWORK AND INTERIOR PLASTER.
6. REMOVE AND DOCUMENT ALL (E) WOOD DOORS AND SCREEN U.N.O. NEW DOORS TO BE RECONSTRUCTED BASED ON THE ORIGINAL DOORS.
7. (E) WOOD FLOORS TO BE STRIPPED AND REFINISHED.

**COORDINATION SCOPE:**

1. SOME AREAS REQUIRE (E) FINISHES TO BE REMOVED TO PRERFORM DEMOLITION AND NEWSCOPIES OF WORK. WHERE THIS OCCURS, THE AREA IS TO BE PATCHED AND REPAIRED TO MATCH EXISTING CONSTRUCTION.  
 AT INTERIOR WALLS  
 • CONTRACTOR AND ARCHITECT TO DISCUSS IF THERE ARE WALLS THAT WOULD BE BETTER TO REPLACE THE OVERALL WALL FINISH VS. PATCHING BACK.

**GENERAL NOTES**

- A. SEE SPECIFICATIONS SECTION, 023000 SELECTIVE DEMOLITION. SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- B. REMOVE MATERIALS, EQUIPMENT, AND FINISHES INDICATED ON DRAWINGS AND BY KEYNOTES.
- C. ALL CONCRETE REMOVED SHALL BE WITHIN SAWCUT LINES OR EXISTING EXPANSION/ CONTROL JOINT LINES.
- D. COORDINATE REMOVAL OF DOOR HARDWARE WITH 08700 HARDWARE SPECIFICATIONS.
- E. WHERE DEMOLITION WORK IS INDICATED, CONTRACTOR SHALL REMOVE AND REINSTALL ANY OR ALL ITEMS NECESSARY FOR INSTALLATION OF NEW WORK. EXISTING AREA AFFECTED BY DEMOLITION WORK SHALL BE PATCHED AND REPAIRED TO MATCH EXISTING CONSTRUCTION.
- F. REMOVE, CUT, AND PATCH WORK IN A MANNER TO MINIMIZE DAMAGE AND TO PROVIDE MEANS OF RESTORING PRODUCTS AND FINISHES TO ORIGINAL CONDITION.
- G. WHERE NEW WORK ABUTS OR ALIGNS WITH EXISTING, MAKE A SMOOTH AND EVEN TRANSITION. PATCH WORK SHALL MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPEARANCE.
- H. WHEN FINISHED SURFACES ARE CUT SO THAT A SMOOTH TRANSITION WITH NEW WORK IS NOT POSSIBLE, TERMINATE EXISTING SURFACES ALONG A STRAIGHT LINE AT A NATURAL LINE OF DIVISION AND MAKE RECOMMENDATION TO THE ARCHITECT.
- I. REFER TO SPECIFICATION APPENDIX ?? FOR HAZARDOUS MATERIAL REPORT.
- J. OTHER DISCIPLINES SHOWN HERE ARE FOR REFERENCE AND COORDINATION ONLY. REFER TO THAT DISCIPLINES SHEETS FOR MORE INFORMATION.



**DEMOLITION FLOOR PLAN LEGEND**

**SYMBOLS**

- (E) WALL TO REMAIN
- == (E) WALL TO BE REMOVED
- REMOVE EXISTING BUILDING ITEM. SEE DEMOLITION GENERAL NOTES, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS.
- DEMOLISH PORTION OF (E) BUILDING
- ? KEYNOTE TAG. SEE KEYNOTE LEGEND

**ABBREVIATIONS**

- (E) EXISTING
- TYP TYPICAL

**DRAWING SET INFORMATION:**

11/1/2024 SITE PLAN REVIEW

**REVISIONS:**

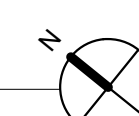
| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

**PROJECT NUMBER:**

2022-50

**SHEET NUMBER:**

A200





PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.

**FOR REFERENCE ONLY**

**FOWLER IMPROVEMENT ASSOCIATION REMODEL**

FOWLER IMPROVEMENT ASSOCIATION  
110 S 5th St, Fowler, CA 93625

**SHEET: FLOOR PLAN**

**DRAWING SET INFORMATION:**

|           |                  |
|-----------|------------------|
| 11/1/2024 | SITE PLAN REVIEW |
|-----------|------------------|

**REVISIONS:**

|  |  |
|--|--|
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |

**PROJECT NUMBER:**

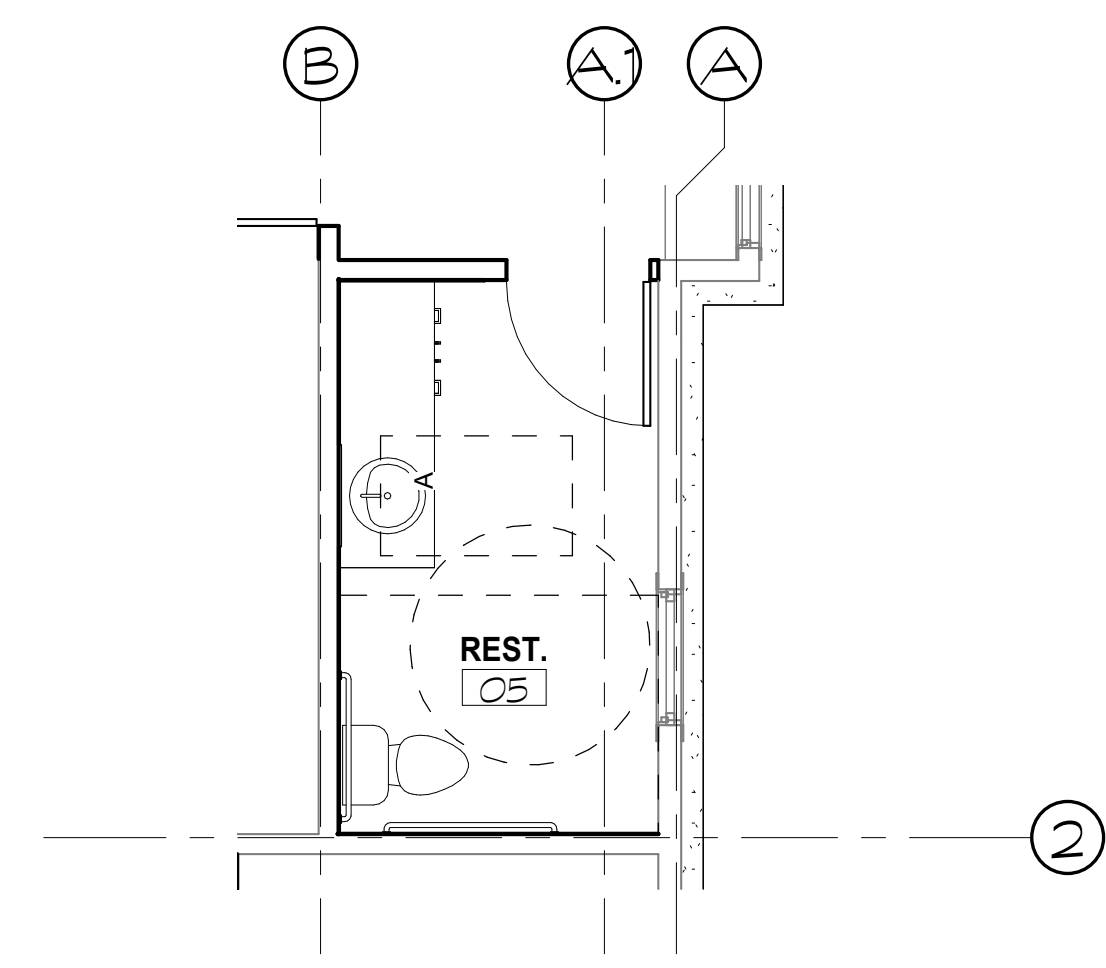
2022-50

**SHEET NUMBER:**

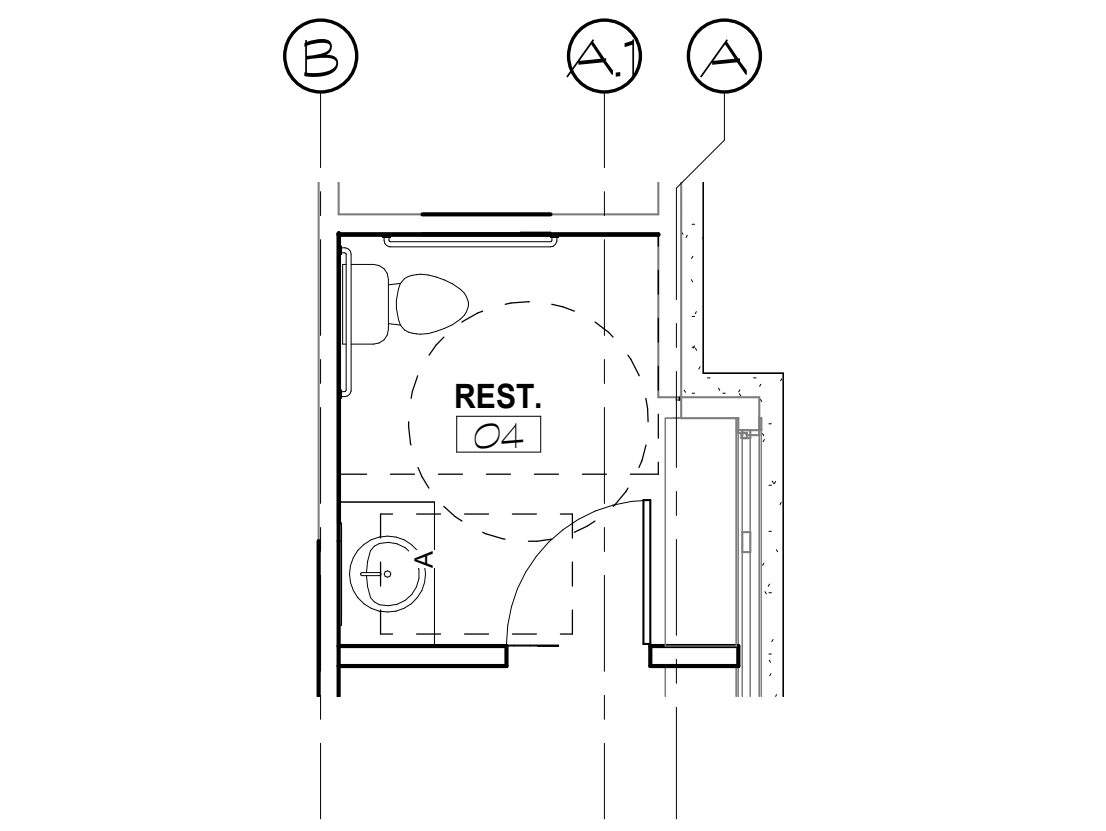
A201

**GENERAL NOTES**

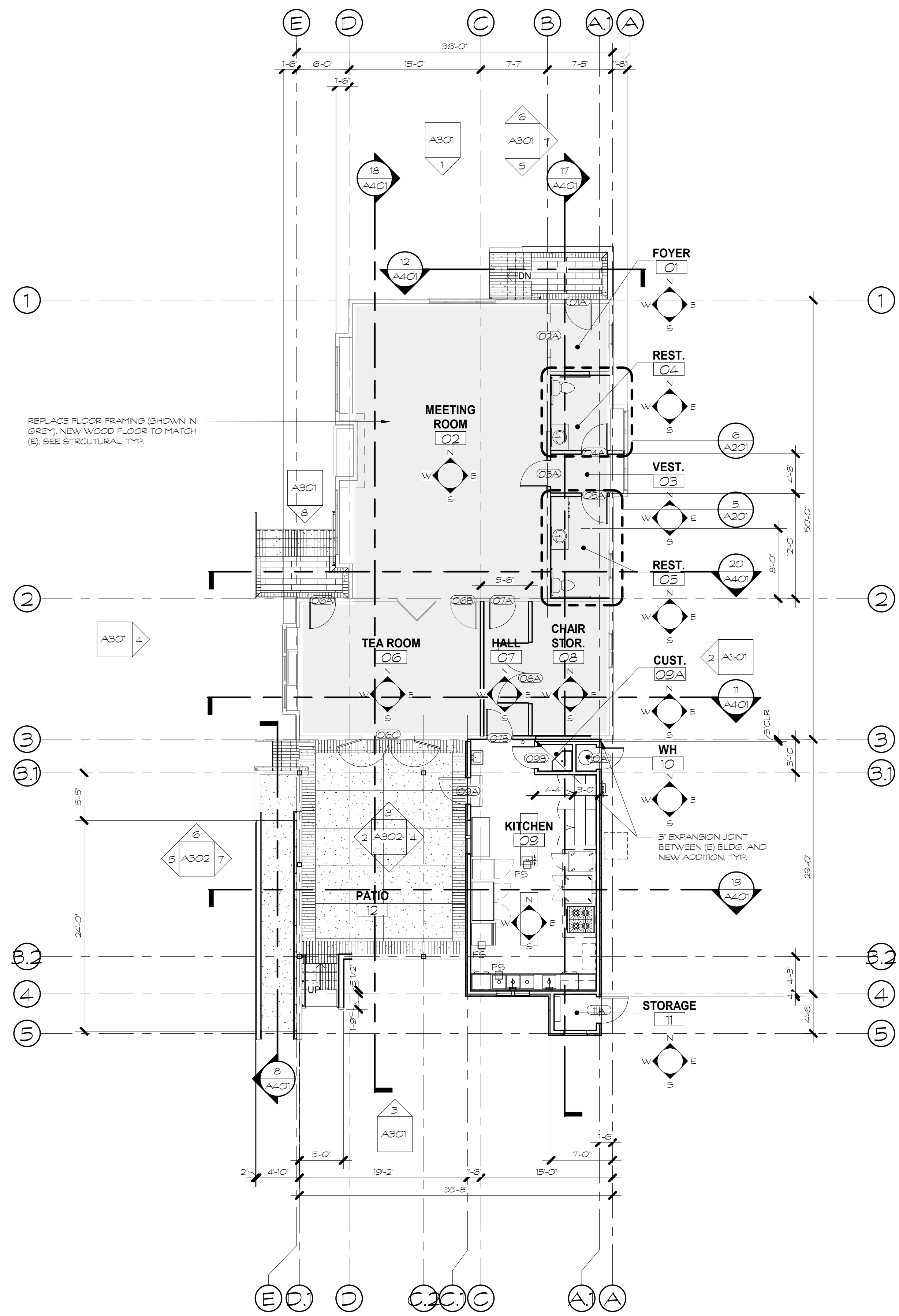
- A) DIMENSIONS WITH 'MIN', 'CLR', 'MIN CLR' OR 'ABSOLUTE' ARE MEASURED FROM FACE OF WALL FINISH.
- B) FOR TYPICAL REACH RANGES, SEE 1/A000
- C) FOR DOOR CLEARANCES, SEE 1/A000 AND 1/A000
- D) ROOM NUMBERING SHOWN HERE IS NOT TO BE USED FOR ROOM SIGNAGE. CONFIRM WITH OWNER PRIOR TO FABRICATION AND INSTALLATION.
- E) FOR FIXTURE AND TOILET ACCESSORIES MOUNTING AND LOCATION, SEE INTERIOR ELEVATIONS AND 1/A000
- F) FOR FINISH, DOOR AND WINDOW INFORMATION, SEE A7XX
- G) PROVIDE BACKING/BLOCKING AS NEEDED PER 1/A000
- H) ALL NEW PARTITION WALLS SHALL BE CONTINUOUS TO UNDERSIDE OF ROOF DECK OR FLOOR SHEATHING ABOVE, TYP. U.N.O.
- J) SEE UNIT PLANS ON A2XX FOR MORE INFORMATION
- K) SEE DIMENSION PLAN FOR WALL TYPES
- L) SEE A9XX FOR TYPICAL FIRE RATED ASSEMBLIES AND PENETRATIONS
- M) FOR TYPICAL SEALANT JOINT SEE 1/A000



5 ENLARGED FLOOR PLAN  
1/4" = 1'-0"



6 ENLARGED FLOOR PLAN  
1/4" = 1'-0"



**FLOOR PLAN LEGEND**

- SYMBOLS**
- SMALL DASHED LINE INDICATES ACCESSIBLE CLEARANCE AT DOOR, FIXTURE OR EQUIPMENT, TYP. SEE 1/A000 AND 1/A000
  - - - - - LARGE DASHED LINE INDICATES ELEMENT ABOVE, TYP.
  - ⊕ WINDOW TAG, SEE A7XX
  - ⊔ DOOR TAG, SEE A7XX
  - ⊙ KEYNOTE TAG, SEE LEGEND ABOVE
  - ROOM TAG, SEE A7XX
  - SC SECURITY CAMERA OFCL PROVIDE POWER/DATA PER ELECTRICAL
  - W-1 SIGN TAG, SEE A9XX
  - ▲ INTERIOR ELEVATION
  - Ⓢ INTERIOR ELEVATION
  - ⓪ SECTION
  - ⓐ TOILET ACCESSORY TAG, SEE LEGEND ON A2XX
  - Ⓛ KNOX BOX PER XXX REQUIREMENTS, 48" MOUNTING HEIGHT
- ABBREVIATIONS**
- (E) EXISTING
  - TYP TYPICAL

**SCOPE:**

- GENERAL NOTE:**
- FRAMING TYPE: WOOD STUD
  - (E) FRAMING BUILT PRIOR TO 'NOMINAL SIZES'
  - ASSUME THERE WILL BE ABATEMENT FOR THIS BUILDING

**EXTERIOR SCOPE:**

- ALL NEW FIRE TREATED WOOD REDWOOD SHINGLE SIDING AND UNDERLAYMENT.
- PROVIDE BATT INSULATION AT ALL EXTERIOR WALLS TO CREATE THERMAL ENVELOPE WITH ROOF
- ELECTRICAL:
  - A. NEW EXTERIOR LIGHT FIXTURES
  - B. NEW ELECTRICAL PANEL AND CONNECTION TO PGE
  - C. ALL NEW ELECTRICAL OUTLETS
- REFINISH AND REPAIR (E) CRAFTSMAN WOOD ROOF BRACKETS
- REFINISH AND REPAIR (E) DECORATIVE WOOD WALL VENTS
- NEW STAIRS TO BE STAMPED CONCRETE PER SITE PLAN.
- STRUCTURAL UPGRADES TO THE (E) FOUNDATION SYSTEM. SEE STRUCTURAL

**EXTERIOR ALTERNATE:**

- PROVIDE A COST FOR REMOVAL AND REPLACEMENT OF ALL (E) VINYL WINDOWS WITH WOOD WINDOWS
- PROVIDE A COST FOR COMPOSITE SIDING (I.E. HARDIE BOARD) VS FIRE TREATED WOOD SHINGLES
- PROVIDE COSTS FOR RAISED COVER PATIO 4" RAISED CONC. DECK SLURRY CONCRETE VS SLURRY OVER PLYWOOD DECK
- PROVIDE COST FOR THIN BRICK VENEER AT ADDITION INSTEAD WOOD SHINGLES

**INTERIOR SCOPE:**

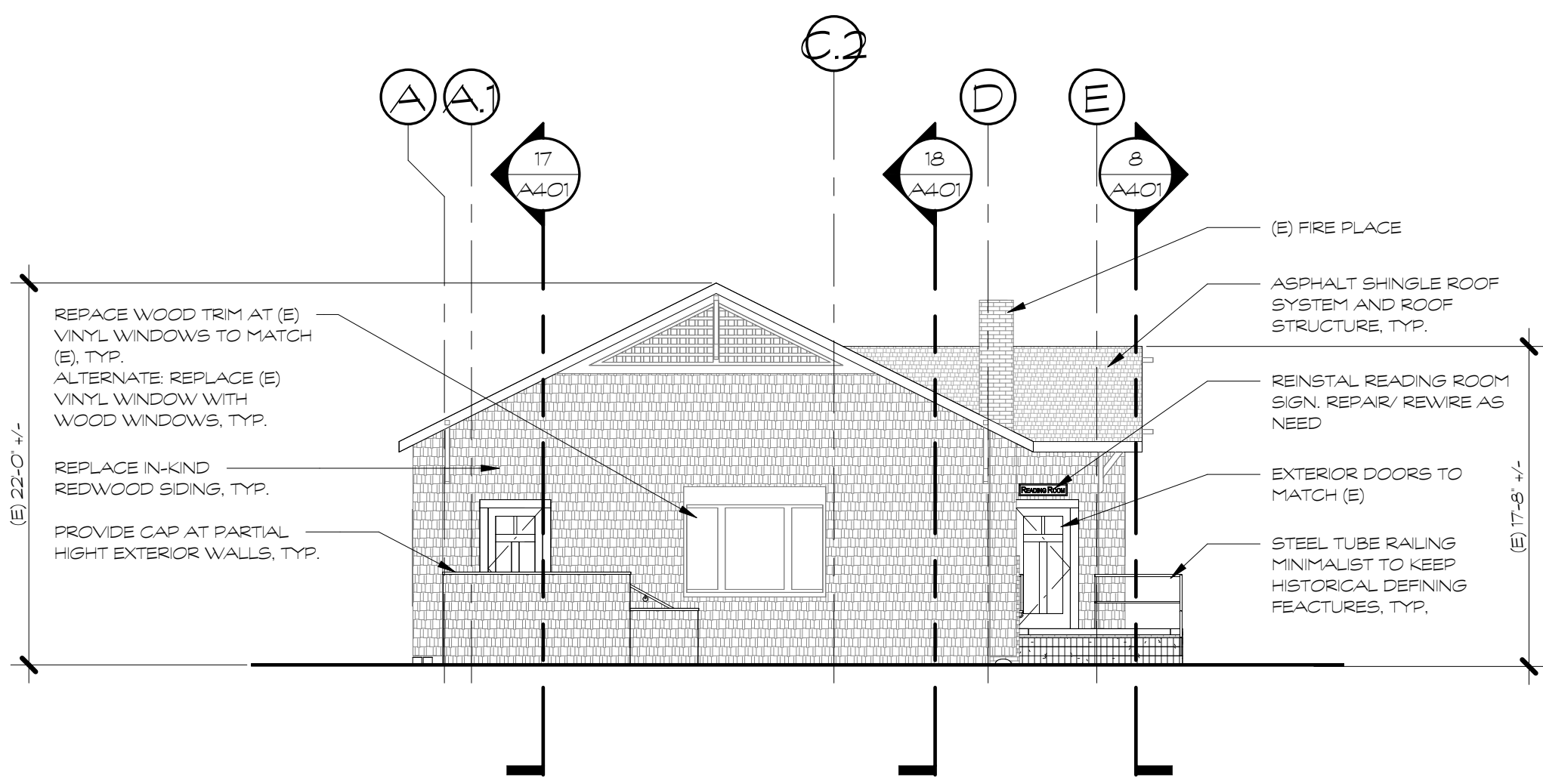
- ALL NEW MECHANICAL SPLIT SYSTEM AND PLUMBING FIXTURES. ALL PIPING, DUCTING AND ETC. TO BE REPLACE
- ALL NEW ELECTRICAL WIRING, OUTLETS/ FIXTURES. KITCHEN (COMMERCIAL STYLE) - TO MEET HEALTH DEPT. REQUIREMENTS A. EQUIPMENT AND FLOOR DRAIN REQUIREMENTS. SEE KITCHEN SCHEDULE. ALL EQUIPMENT WILL BE PROCURED BY THE OWNER EXCEPT FOR THE KITCHEN HOOD AND PLUMBING FIXTURES
- WALL FINISHES SHALL BE FRP AND STAINLESSSTEEL SHEET AT HOOD
- FLOORS: AMARCO SHEET FLOORING WITH COVERED BASE (NON-SLIP)
- ALL SURFACES MUST BE WASHABLE (FLOOR, WALLS, CEILING, ETC.)
- REFINISH (E) MILLWORK/ WOODWORK AND REPAIR (E) INTERIOR PLASTER
- NEW WOOD DOORS TO MATCH EXISTING BASED ON DOCUMENTATION
- (E) WOOD FLOORS TO BE STRIPPED AND REFINISHED
- CHAIR STORAGE AND HALL: PROVIDE IMPACT RESTANT GYPSUM BOARD
- RESTROOMS: (ALL UNSEX)
  - A. FLOOR CERAMIC TILE
  - B. ACCESSIBLE WOOD CABINET WITH UNDERMOUNT SINK, SOLID COUNTER (I.E. SOLID SURFACE)
  - C. PROVIDE ALL REQUIRED TOILET ACCESSORIES TO MEET ACCESSIBILITY
  - D. WALLS:
    - a. PROVIDE INSULATION IN WALLS FOR SOUND PROOFING ( SOUND BOARD SYSTEM WILL EAT AWAY AT CLEARANCE REQUIREMENTS)
    - b. TILE BACKSPLASH AND WALLS ADJACENT TO TOILET

**INTERIOR ALTERNATE:**

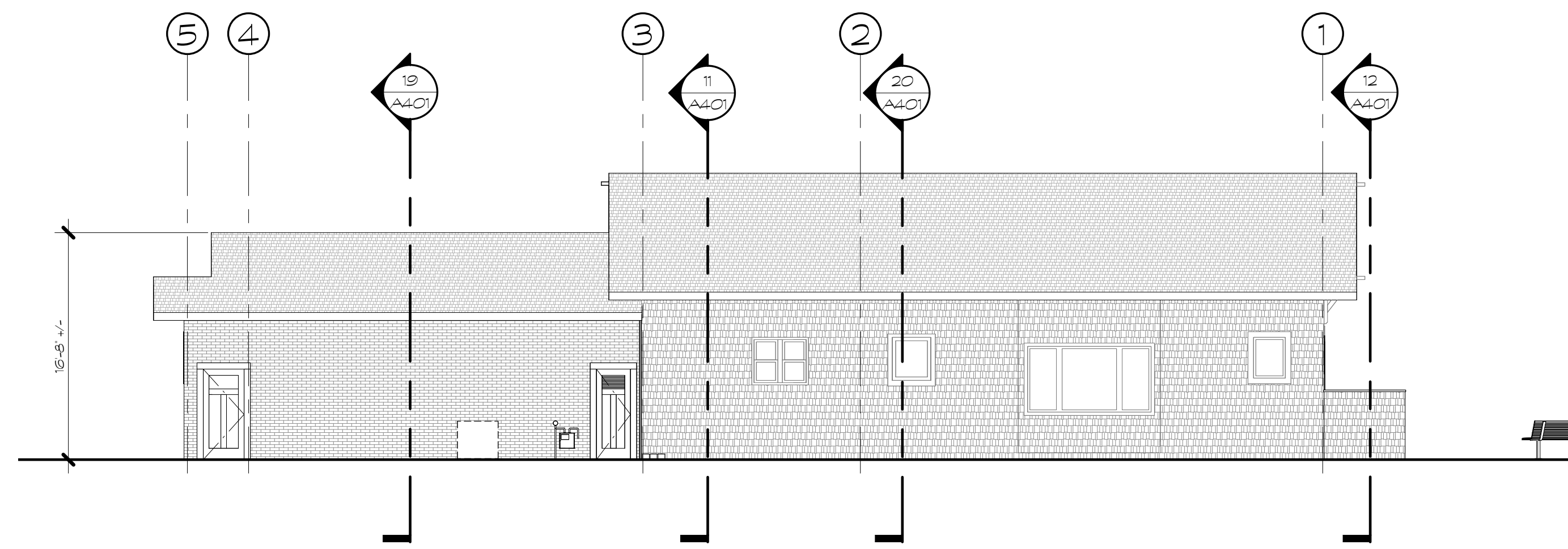
- PROVIDE COST FOR INSTALLATION OF ALL OWNER PROCURED ITEMS

**COORDINATION SCOPE:**

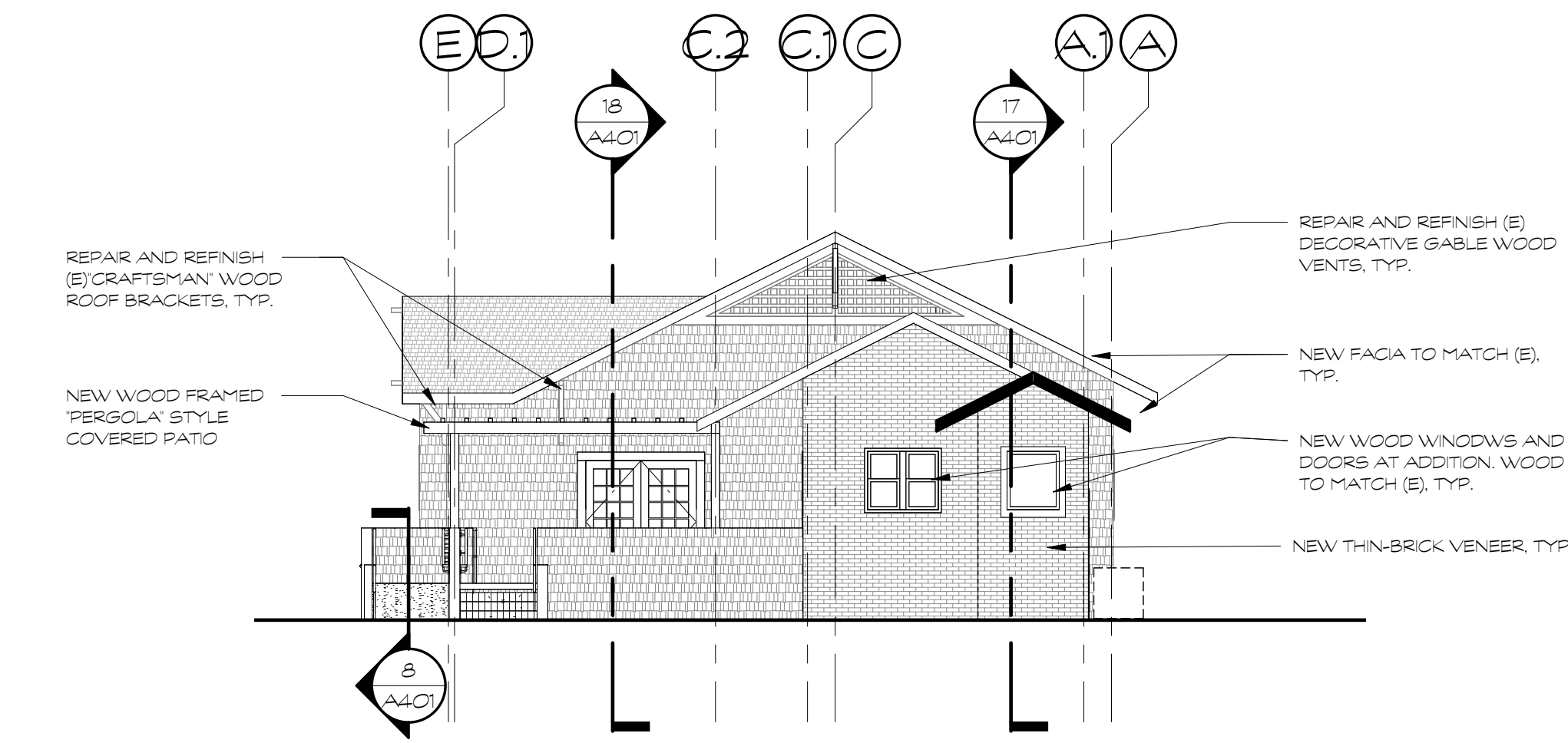
- SOME AREAS REQUIRE (E) FINISHES TO BE REMOVED TO PREFORM DEMOLITION AND NEW SCOPE. WHERE THIS OCCURS, THE AREAS ARE TO BE PATCHED AND REPAIRED TO MATCH (E) CONSTRUCTION.
  - AT INTERIOR WALLS:
    - a. DISCUSSE IF CERTAIN WALLS WOULD BE BETTER TO REPLACE OVERALL FINISH ON ONE SIDE VS. PATCHING BACK
    - I.E. ELECTRICAL CONDUITE, PLUMBING, ETC.



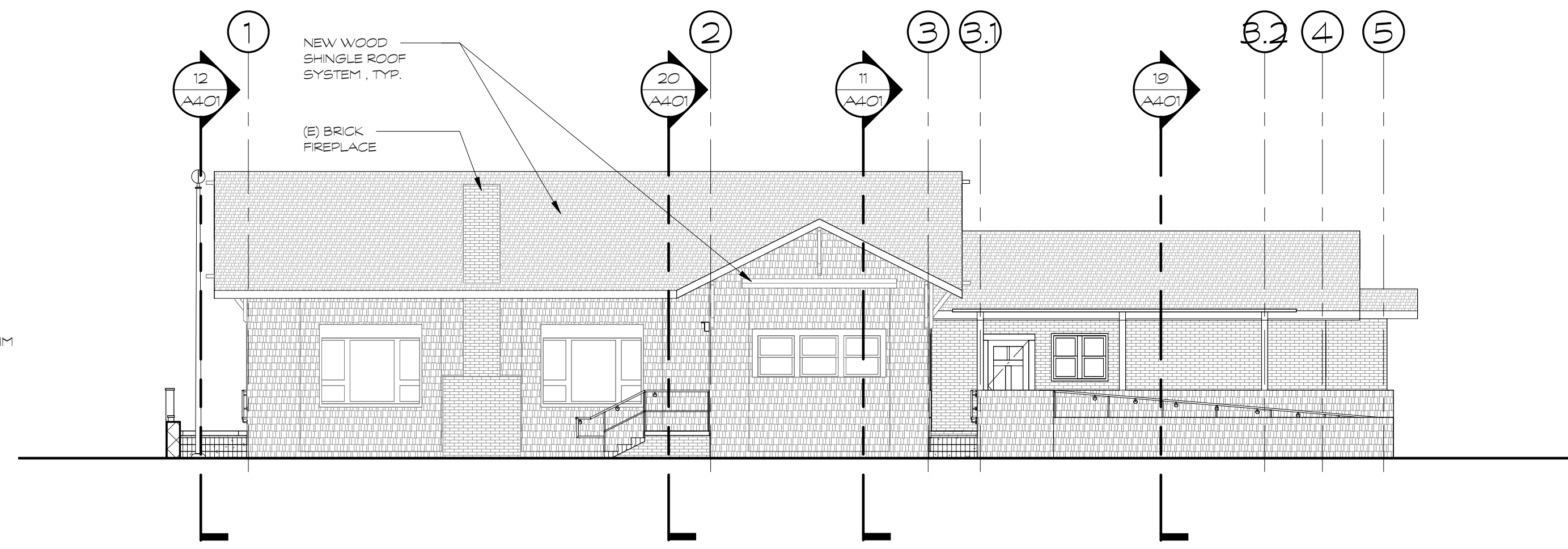
1 NORTH  
1/8" = 1'-0"



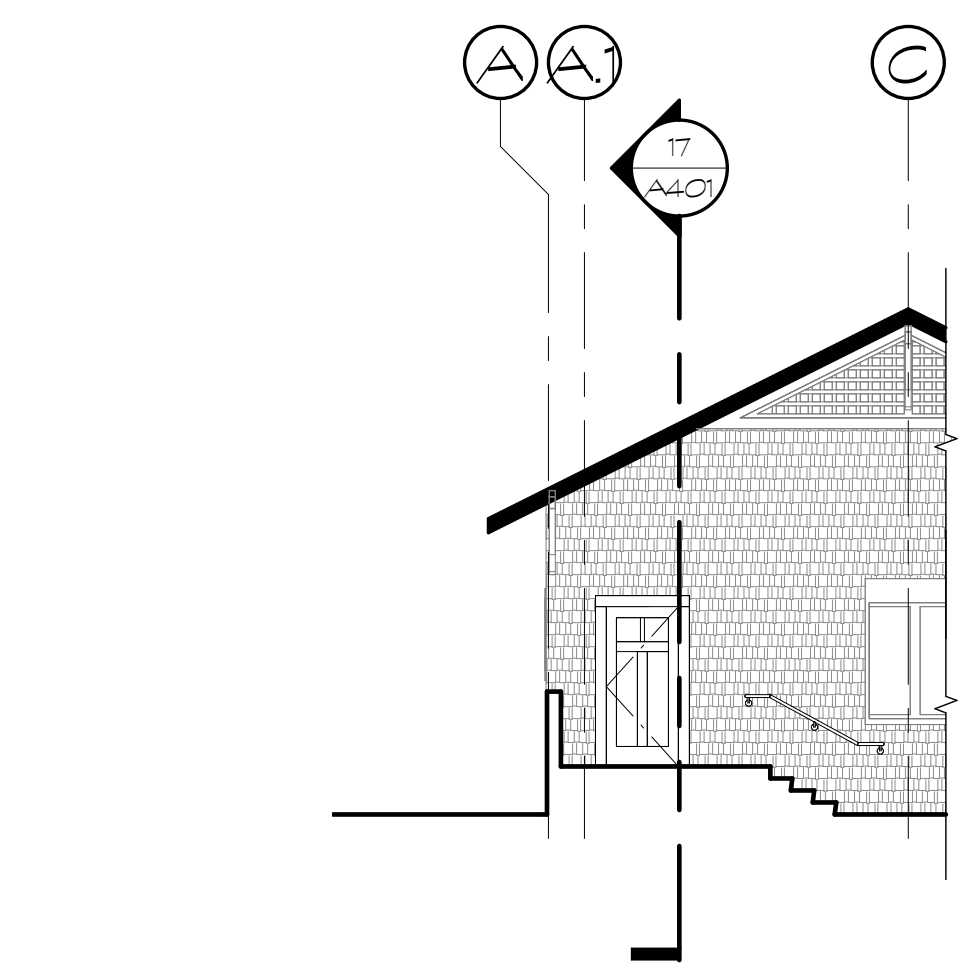
2 EAST  
1/8" = 1'-0"



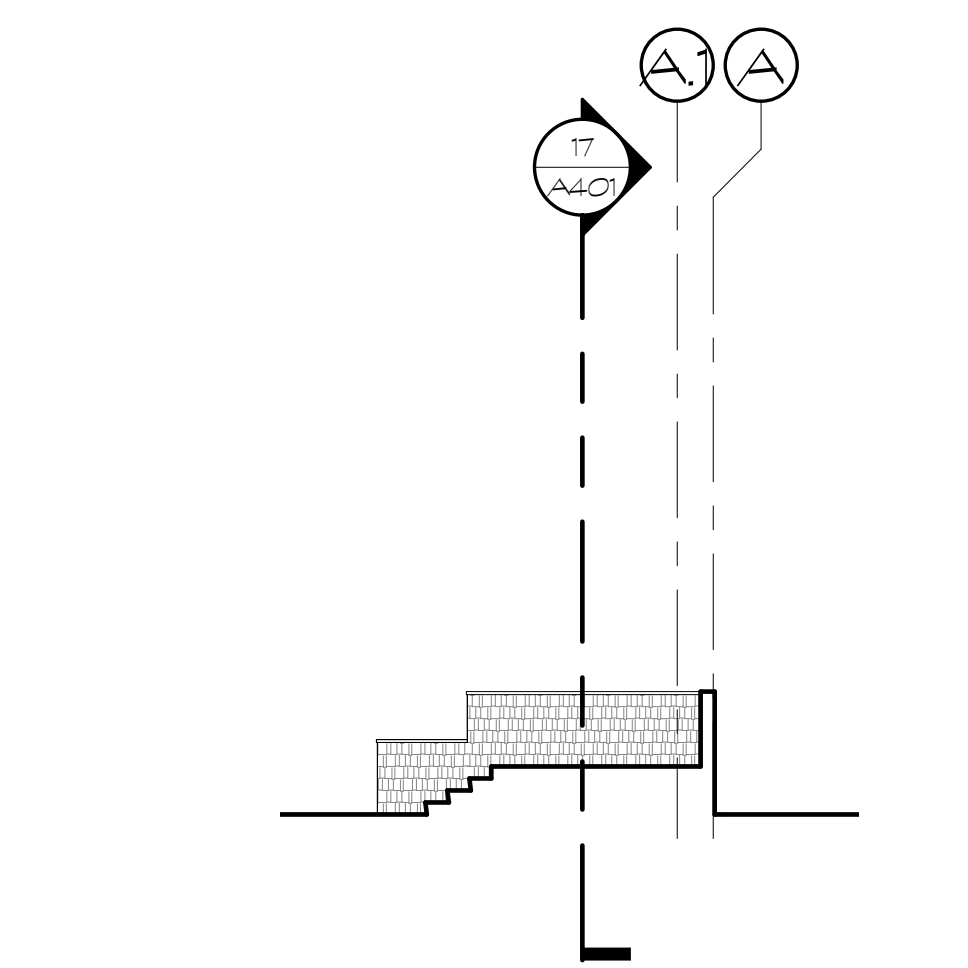
3 SOUTH  
1/8" = 1'-0"



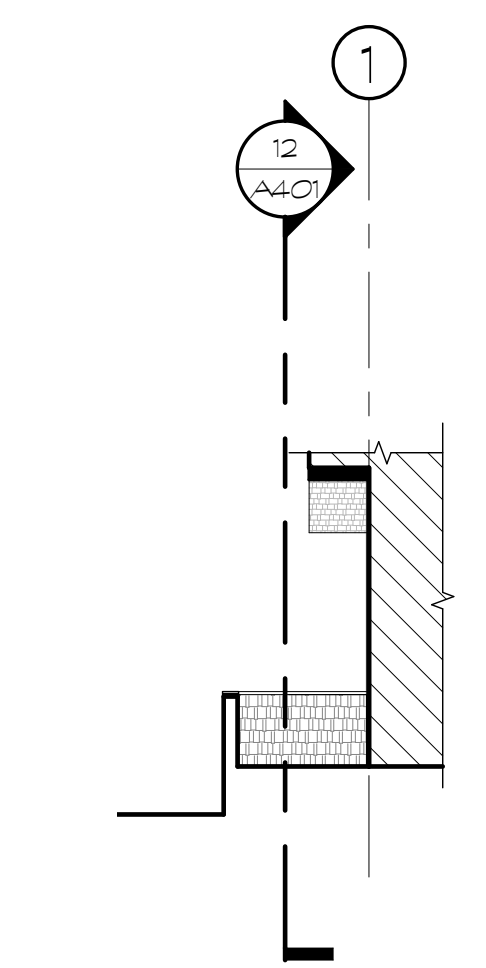
4 WEST  
1/8" = 1'-0"



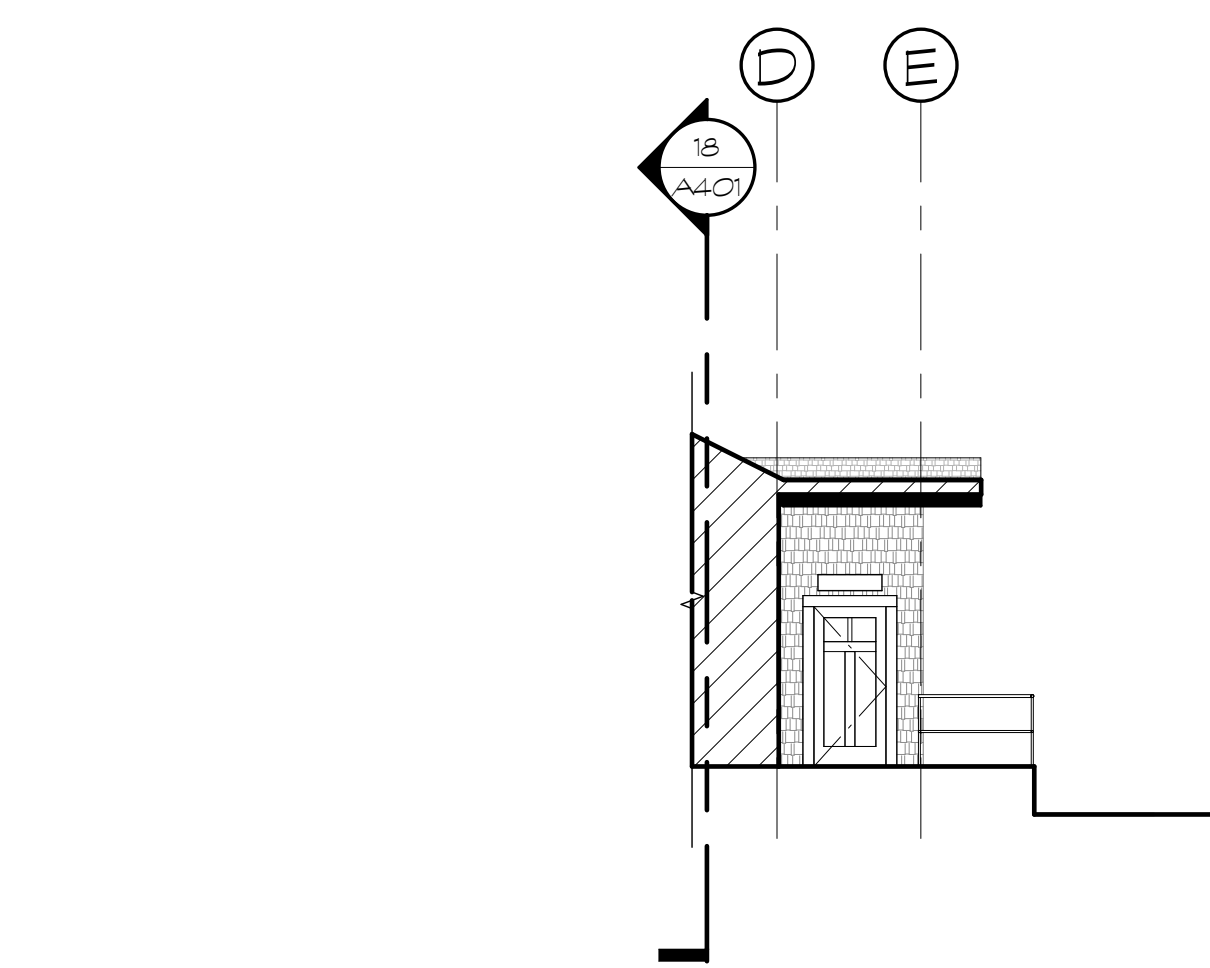
5 NORTH - PARTIAL ENTRY  
1/8" = 1'-0"



6 SOUTH - PARTIAL ENTRY  
1/8" = 1'-0"



7 WEST - PARTIAL ENTRY  
1/8" = 1'-0"



8 NORTH - PARTIAL SIDE ENTRY  
1/8" = 1'-0"

GENERAL NOTES

- A) FOR MORE INFORMATION ON WINDOWS AND DOORS, SEE SCHEDULES ON A7XX
- B) PAINT ALL ACCESSORIES TO MATCH ADJ. FINISHES, TYP. U.N.O.
- C) FOR TYPICAL SIDING PENETRATION, SEE



**PAUL HALAJIAN ARCHITECTS**  
389 Clovis Ave, Suite 100  
Clovis, CA 93612-1185  
T: 559.297.7900 F: 559.297.7950  
www.halajianarch.com



PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.

FOR REFERENCE ONLY

FOWLER IMPROVEMENT ASSOCIATION

REMODEL

FOWLER IMPROVEMENT ASSOCIATION

110 S 5th St, Fowler, CA 93625

SHEET: EXTERIOR ELEVATIONS

EXTERIOR MATERIAL LEGEND

SEE RCPs ON A6XX FOR EXTERIOR CEILING FINISHES

LEGEND

FIRE TREATED WOOD SHINGLE SIDING

DRAWING SET INFORMATION:

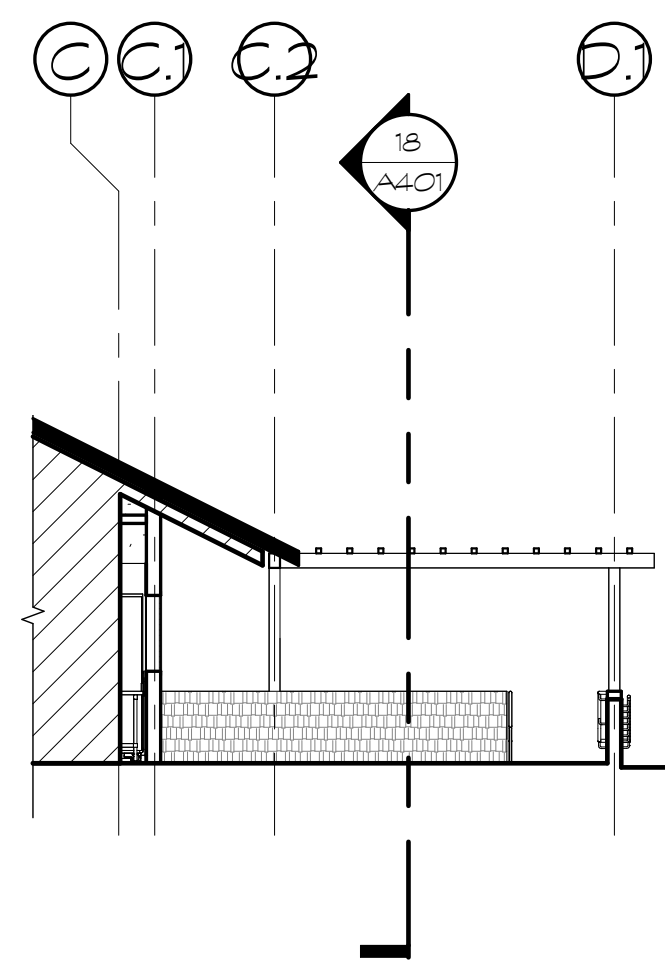
|           |                  |
|-----------|------------------|
| 11/1/2024 | SITE PLAN REVIEW |
|-----------|------------------|

REVISIONS:

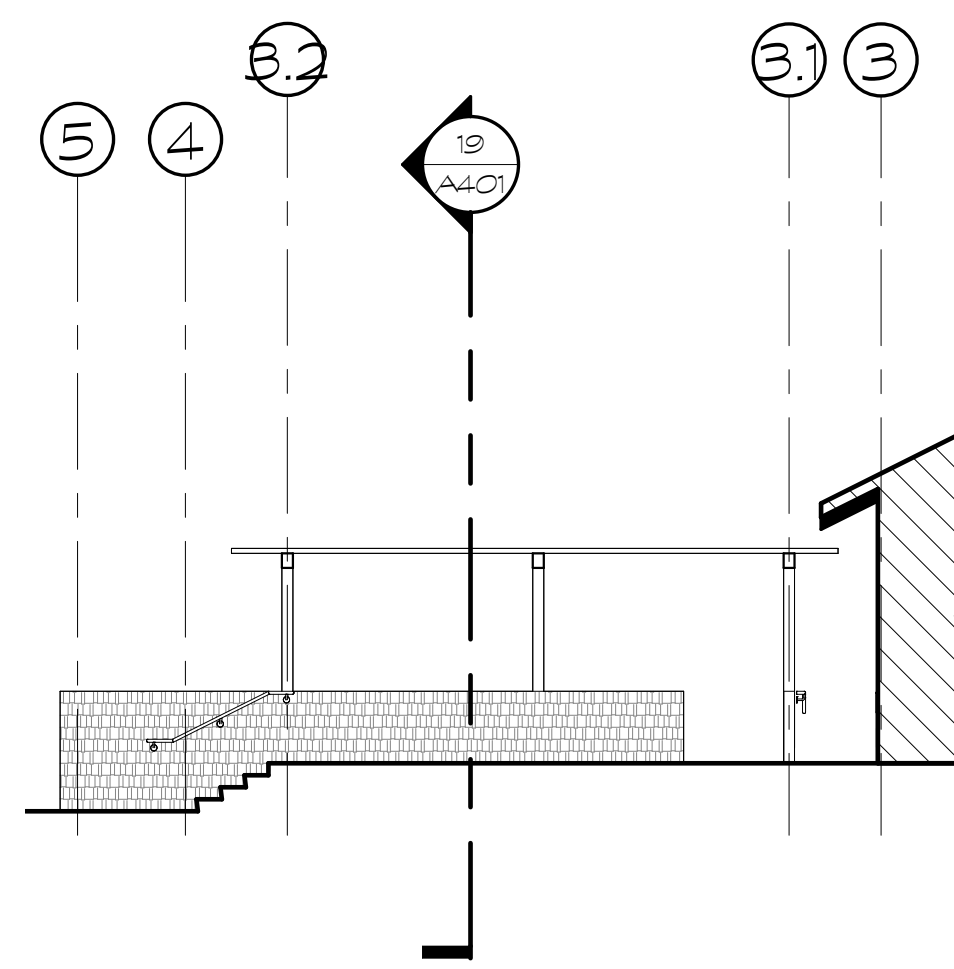
|  |  |
|--|--|
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |

PROJECT NUMBER:  
2022-50

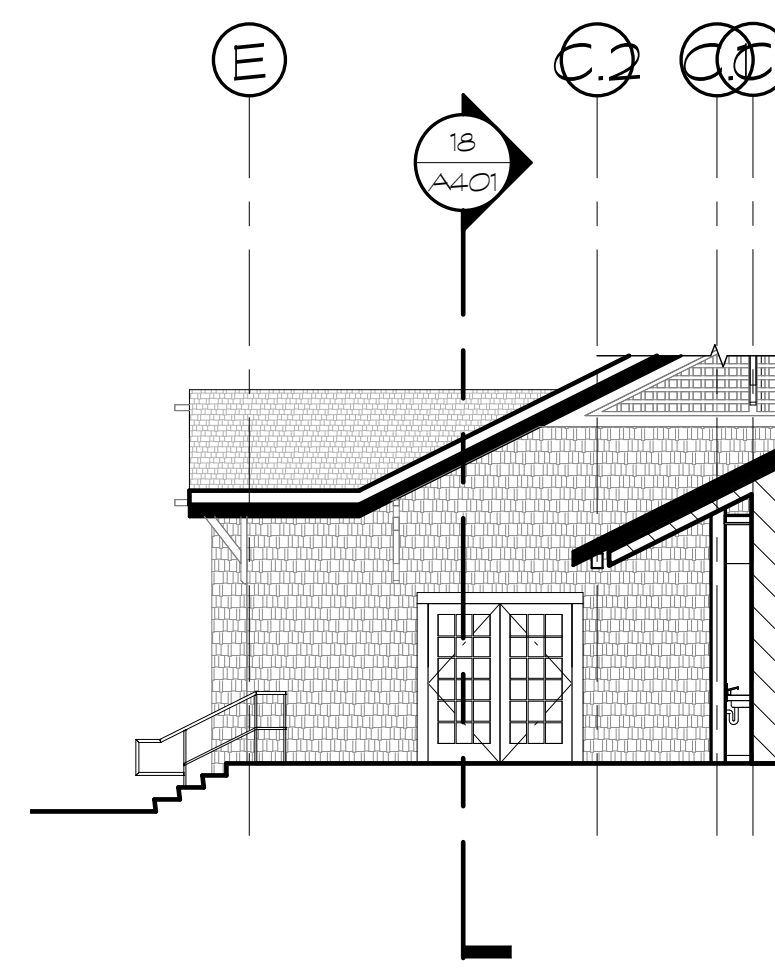
SHEET NUMBER:  
A301



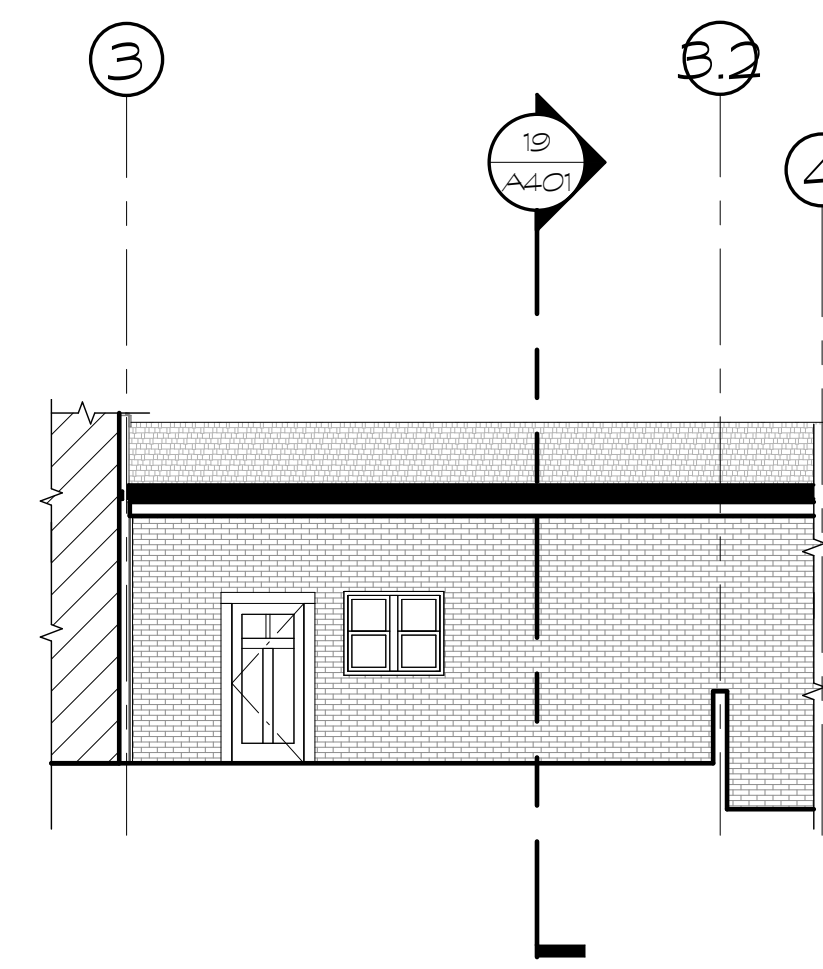
1 NORTH - PATIO  
1/8" = 1'-0"



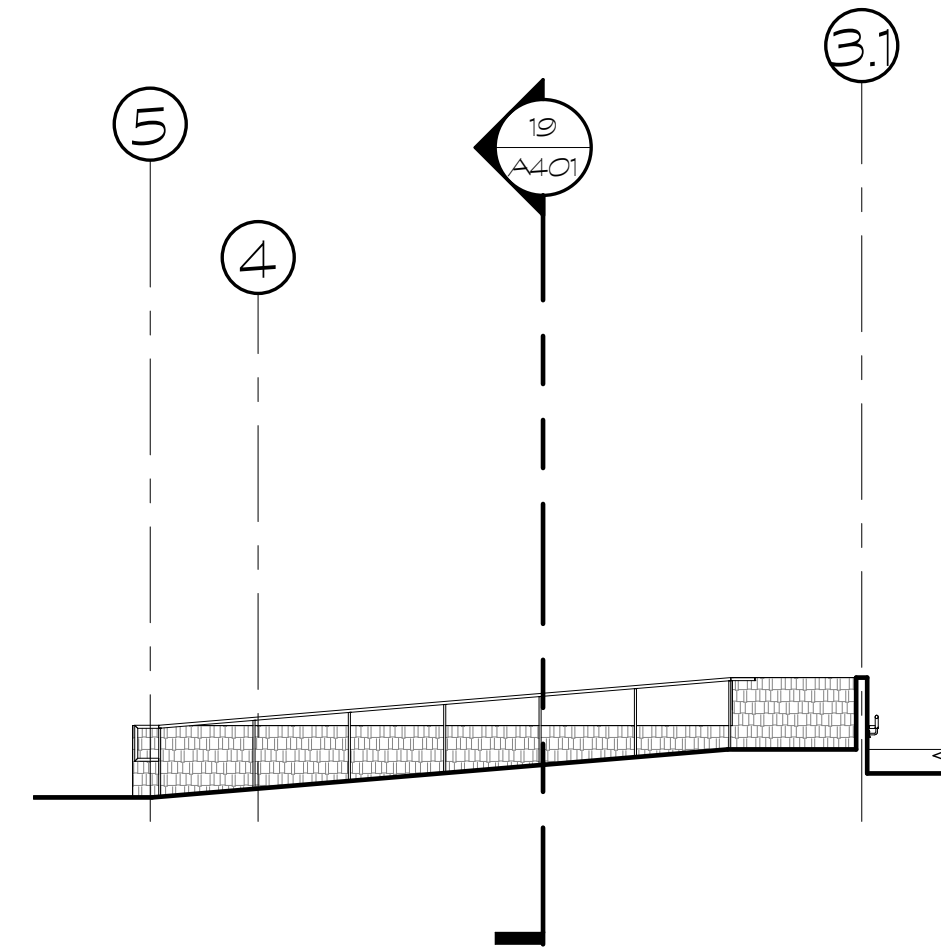
2 EAST - PATIO  
1/8" = 1'-0"



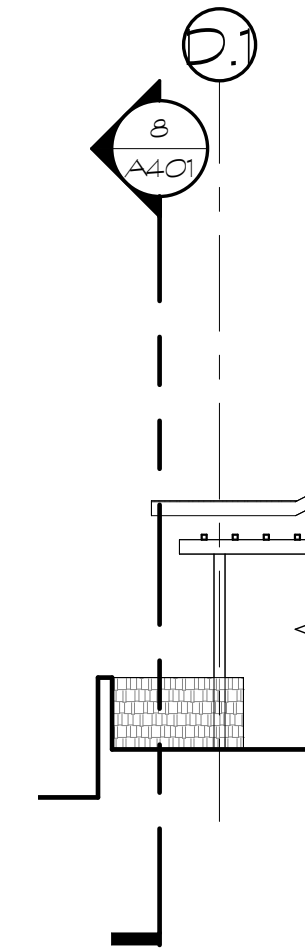
3 SOUTH - PATIO  
1/8" = 1'-0"



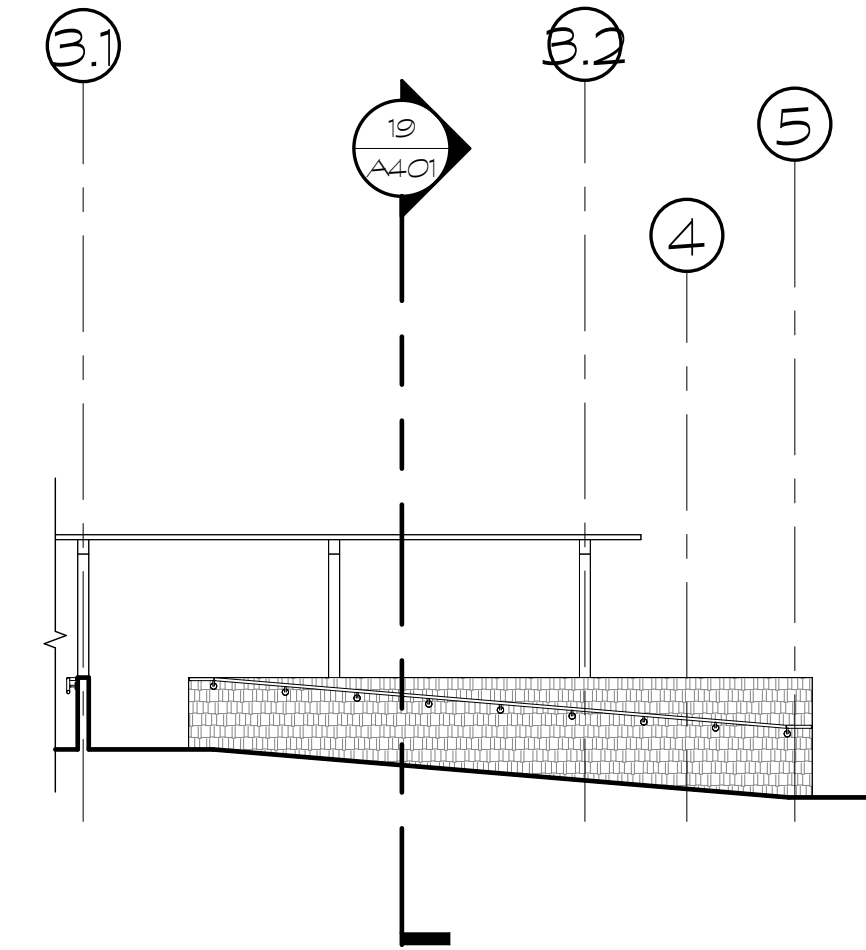
4 WEST - PATIO  
1/8" = 1'-0"



5 EAST - RAMP  
1/8" = 1'-0"



6 SOUTH - RAMP  
1/8" = 1'-0"



7 WEST - RAMP  
1/8" = 1'-0"

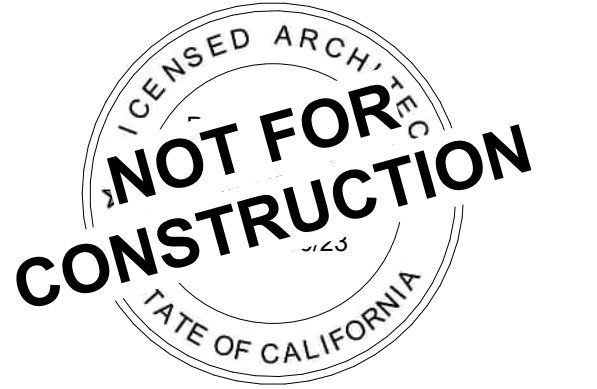
GENERAL NOTES

- A) FOR MORE INFORMATION ON WINDOWS AND DOORS, SEE SCHEDULES ON **A7XX**
- B) PAINT ALL ACCESSORIES TO MATCH ADJ. FINISHES, TYP. U.N.O.
- C) FOR TYPICAL SIDING PENETRATION, SEE

PH

PAUL HALAJIAN  
ARCHITECTS

389 Clovis Ave, Suite 100  
Clovis, CA 93612-1185  
T: 559.297.7900 F: 559.297.7950  
www.halajianarch.com



PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.

FOR REFERENCE  
ONLY

FOWLER IMPROVEMENT ASSOCIATION

REMODEL

FOWLER IMPROVEMENT ASSOCIATION

110 S 5th St, Fowler, CA 93625

SHEET: EXTERIOR ELEVATIONS

EXTERIOR MATERIAL LEGEND

SEE RCPS ON **A6XX** FOR EXTERIOR CEILING FINISHES

LEGEND

 FIRE TREATED WOOD SHINGLE SIDING

DRAWING SET INFORMATION:

11/1/2024 SITE PLAN REVIEW

REVISIONS:

| NO. | DESCRIPTION |
|-----|-------------|
|     |             |
|     |             |
|     |             |
|     |             |

PROJECT NUMBER:

2022-50

SHEET NUMBER:

A302

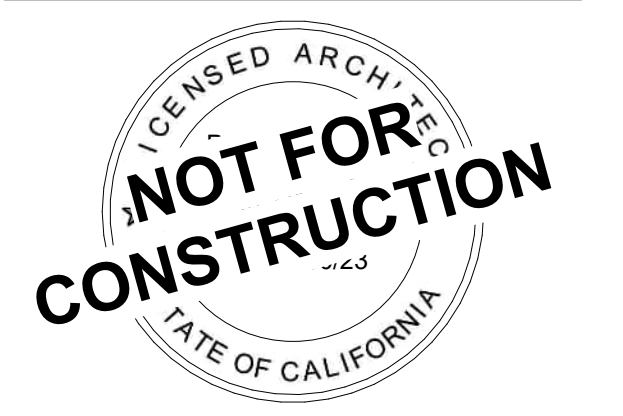


ALLEY WAY

PH

PAUL HALAJIAN ARCHITECTS

389 Clovis Ave, Suite 100  
Clovis, CA 93612-1185  
T: 559.297.7900 F: 559.297.7950  
www.halajianarch.com



PAUL HALAJIAN ARCHITECTS expressly reserves its common law copyright and other property rights specifically related to the contents of these plans. This document and the ideas and designs incorporated herein, as an instrument of professional service rendered by PAUL HALAJIAN ARCHITECTS, is not to be used in whole or in part for any other project without prior written authorization from PAUL HALAJIAN ARCHITECTS.

FOWLER IMPROVEMENT ASSOCIATION

REMODEL

FOWLER IMPROVEMENT ASSOCIATION

110 S 5th St, Fowler, CA 93625

SHEET: LANDSCAPE SITE PLAN

DRAWING SET INFORMATION:

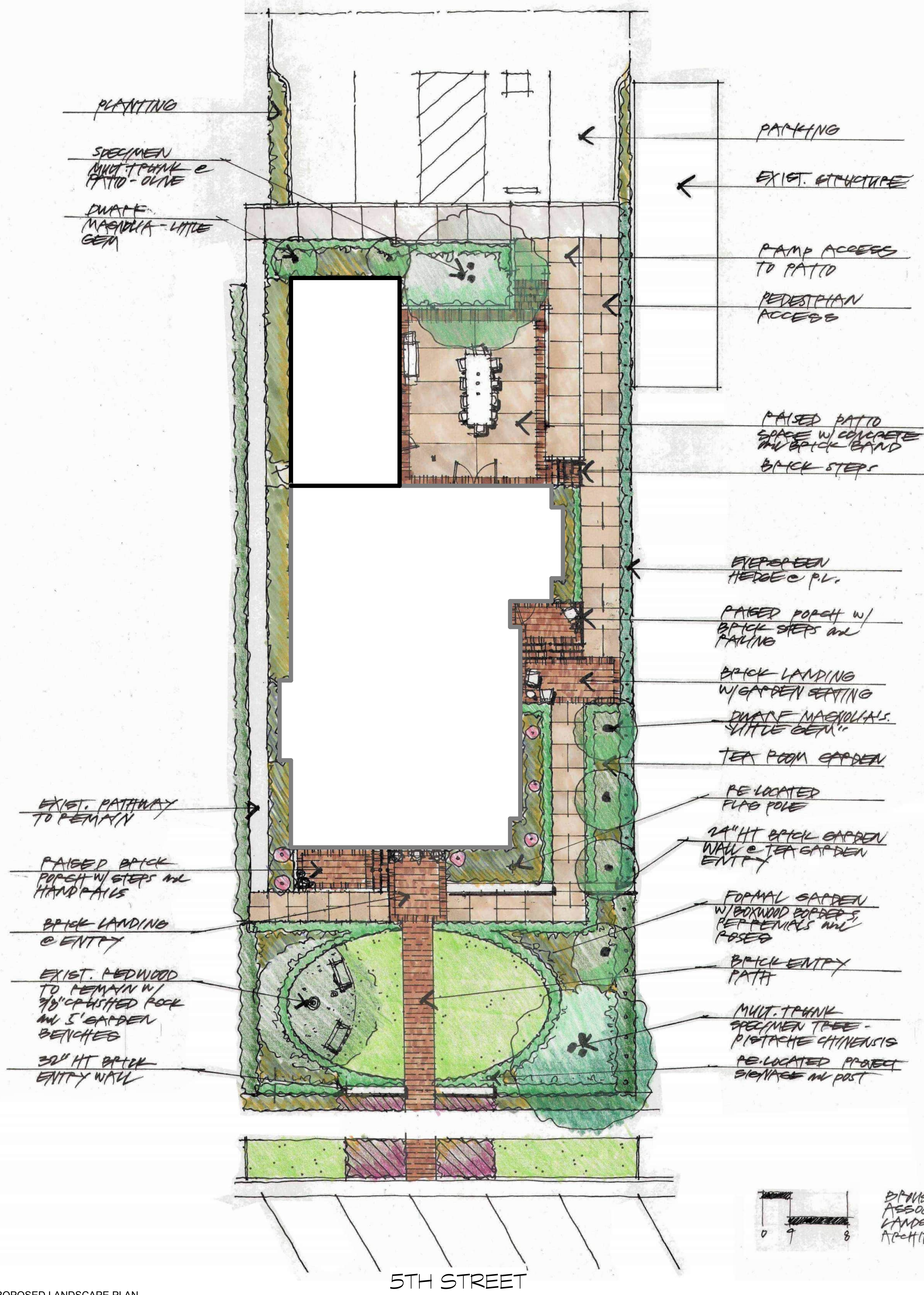
|           |                  |
|-----------|------------------|
| 11/1/2024 | SITE PLAN REVIEW |
|-----------|------------------|

REVISIONS:

|  |  |
|--|--|
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |

PROJECT NUMBER:  
2022-50

SHEET NUMBER:  
L100



PRINT DATE: 11/1/2024 2:48:34 PM

1 PROPOSED LANDSCAPE PLAN  
N.T.S.